

SITE PLAN (N.T.S.)

NOT TO SCALE 1

- SHEET NOTES**
- A. GC'S RESPONSIBILITY TO COORDINATE WITH LANDLORD AND ALL EXISTING LANDSCAPING PRIOR TO BID AND THROUGHOUT CONSTRUCTION TO ENSURE LANDLORD IS UP TO DATE IN THE EVENT OF AN UNFORESEEN CIRCUMSTANCE.
 - B. IF UNFORESEEN SITE CONDITION REQUIRES ADJUSTMENT TO PLAN, NOTIFY PEET'S PM, ARCHITECT AND LANDLORD IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK.
 - C. ANY DAMAGED LANDSCAPING INCLUDING GRASS, MULCH AND OTHER UNSPECIFIED VEGETATION IS REPAIRED TO ORIGINAL CONDITION AT COMPLETION OF WORK.



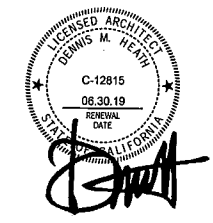
1400 PARK AVENUE
EMERYVILLE, CA 94608
510.594.2100

ARCHITECT

MBH 960 Atlantic Avenue
Alameda, CA 94501
510.865.8663
mbharch.com

DRAWN BY: XX
REVIEWED BY: XX
AOR PROJECT #: 51813

SEAL



CONSULTANT

PROJECT ADDRESS

3258 LAKESHORE AVE.,
OAKLAND CA 94610

STORE NUMBER

212

ISSUED DATES

NO.	DATE	DESCRIPTION
2017-08-03		LU/PERMIT SET

DRAWING DESCRIPTION:

SITE PLAN

SHEET NUMBER:

A100

08/2017 4:53:00 PM C:\p\181811\212_Lakeshore_Oakland_CA\2016 - chaitem_170388.rvt

IF THERE ARE ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS, GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF RECORD OR PEET'S DESIGN MANAGER FOR CLARIFICATION.



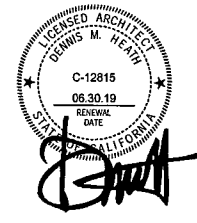
1400 PARK AVENUE
EMERYVILLE, CA 94608
510.594.2100

ARCHITECT



DRAWN BY: XX
REVIEWED BY: XX
AOR PROJECT #: 51813

SEAL



CONSULTANT

PROJECT ADDRESS

3258 LAKESHORE AVE.,
OAKLAND CA 94610

STORE NUMBER

212

ISSUED DATES

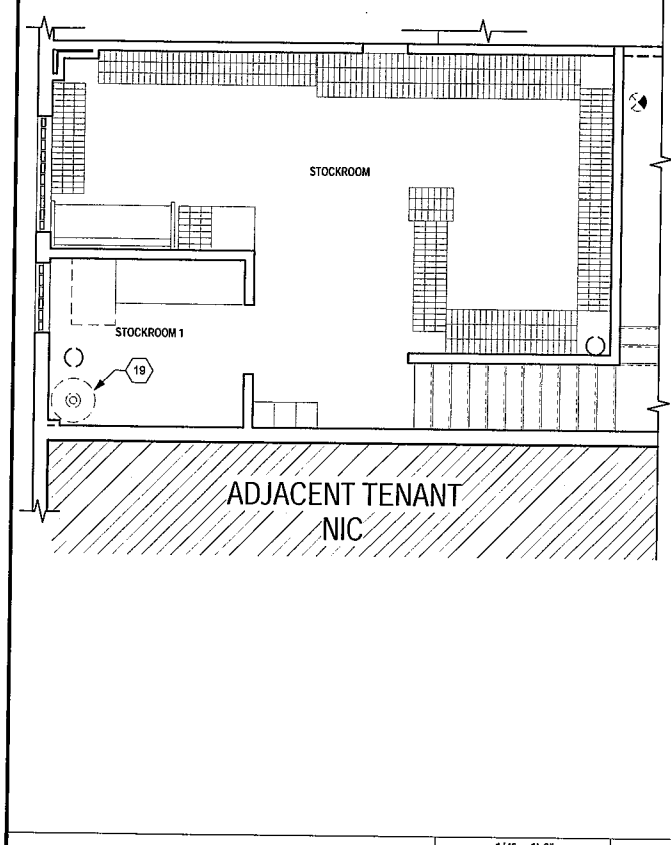
NO. DATE DESCRIPTION
2017-08-03 LUPERMIT SET

DRAWING DESCRIPTION:

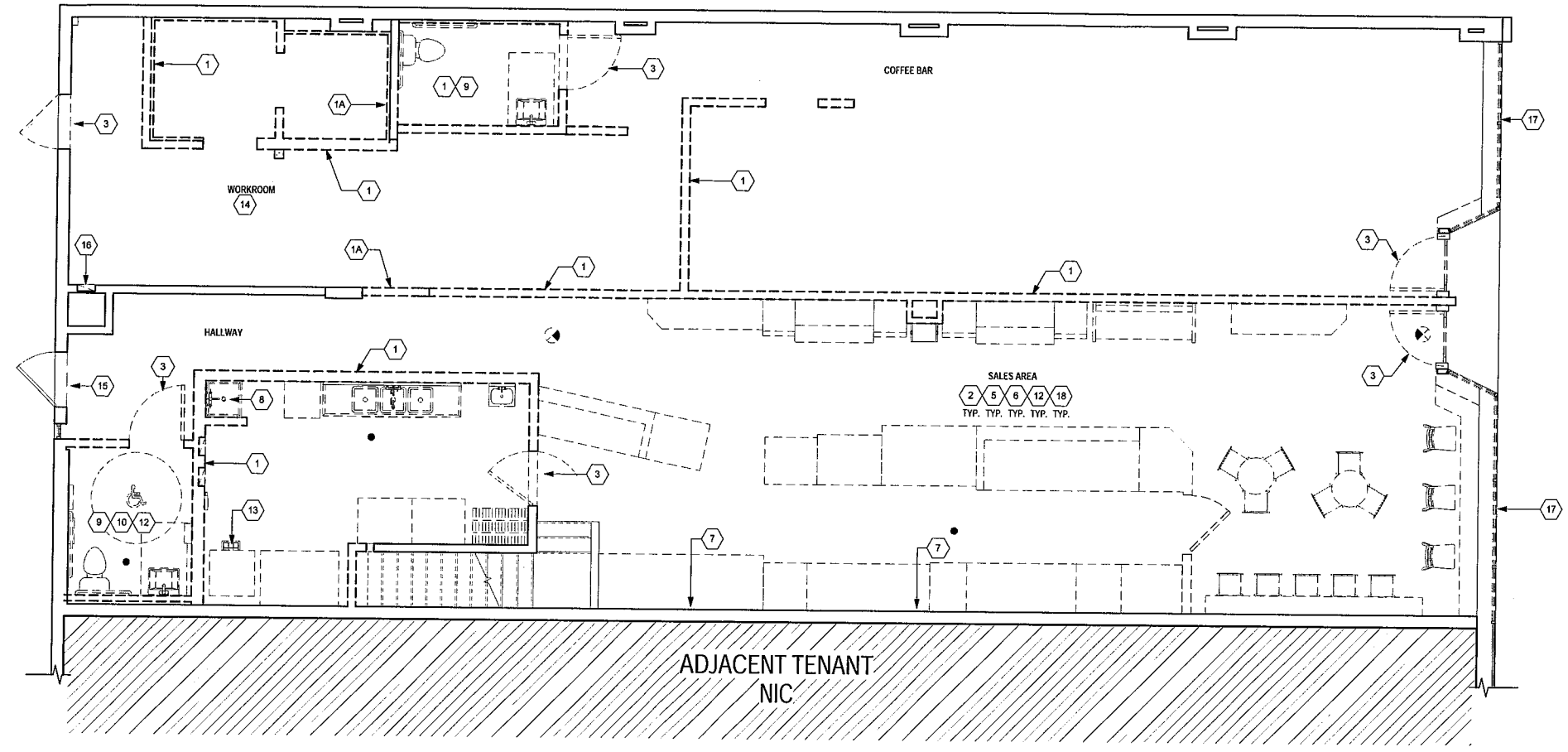
DEMOLITION PLAN

SHEET NUMBER:

AD101



MEZZANINE - DEMOLITION FLOOR PLAN 2



FIRST FLOOR - DEMOLITION FLOOR PLAN 1

- 1 DEMOLISH EXISTING WALLS.
- 1A DEMOLISH PORTION OF EXISTING WALL TO CREATE DOOR OPENING.
- 2 DEMOLISH EXISTING FLOOR FINISHES. PREPARE AREA FOR INSTALLATION OF NEW FLOOR FINISHES.
- 3 DEMOLISH EXISTING DOOR AND DOOR FRAME.
- 5 DEMOLISH EXISTING MILLWORK FRONT LINE INCLUDING ALL COUNTERTOP, CABINET, BASE.
- 6 REMOVE EXISTING PIECES OF FURNITURE AND FIXTURES IN SALES AREA AND SEATING AREA. COORDINATE WITH PEET'S CONSTRUCTION MANAGER.
- 7 DEMOLISH AND DISPOSE EXISTING MENU BOARDS AND HANGING SIGNS. COORDINATE WITH PEET'S CONSTRUCTION MANGER.
- 8 DEMOLISH EXISTING MOP SINK.
- 9 DEMOLISH EXISTING LAVATORY AND TOILET.
- 10 DEMOLISH EXISTING RESTROOM RELATED FIXTURES AND ACCESSORIES. U.O.N. PATCH AND REPAIR WALL FOR NEW SCOPE. COORDINATE WITH PEET'S CONSTRUCTION MANAGER.
- 11 NOT USED
- 12 REMOVE EXISTING WALL FINISHES. PREPARE TO RECEIVE NEW FINISHES.
- 13 CAP EXISTING FLOOR SINK
- 14 EXISTING GREASE INTERCEPTOR TO REMAIN.
- 15 EXISTING DOOR TO REMAIN.
- 16 REMOVE ELECTRICAL PANELS.
- 17 EXISTING STOREFRONT GLAZING AND FRAME TO BE REPLACED. DEMO PORTION OF EXISTING KNEE WALL AS REQUIRED FOR NEW ENTRY DOORS.
- 18 REMOVE EXISTING ARTWORKS AND GRAPHICS. COORDINATE WITH PEET'S.
- 19 REMOVE EXISTING WATER HEATER

KEYNOTES

SYMBOL	DESCRIPTION
	EXISTING PARTITION TO REMAIN
	EXISTING PARTITION TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING ELEMENT TO BE REMOVED
	EXISTING ELEMENT TO BE SALVAGED AND RELOCATED
	TRENCH SLAB AS REQUIRED FOR UNDERGROUND PLUMBING
	NOT IN CONTRACT
	(E) FLOOR TO BE REMOVED

KEYNOTES

SYMBOL	DESCRIPTION
	EXISTING PARTITION TO REMAIN
	EXISTING PARTITION TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING ELEMENT TO BE REMOVED
	EXISTING ELEMENT TO BE SALVAGED AND RELOCATED
	TRENCH SLAB AS REQUIRED FOR UNDERGROUND PLUMBING
	NOT IN CONTRACT
	(E) FLOOR TO BE REMOVED

SYMBOLS

- A. CONTRACTOR SHALL ADHERE TO LANDLORD / BUILDING MANAGEMENT RULES OF OPERATION IN PERFORMING WORK UNDER THIS CONTRACT.
- B. COORDINATE DEMOLITION OF WALLS WITH EXISTING EQUIPMENT TO REMAIN. REFER TO MEP DRAWINGS FOR EXTENT.
- C. REMOVE MECHANICAL, ELECTRICAL, PLUMBING, COMMUNICATION SYSTEMS AND COMPONENTS THAT ARE OBSOLETE OR WILL BE REPLACED BY NEW COMPONENT BACK TO SOURCE. REFER TO MEP-TP DRAWINGS FOR ALL ASSOCIATED WORK.
- D. CONTRACTOR TO CLEAR AND REMOVE ANY CONSTRUCTION DEBRIS AND UNUSED CONSTRUCTION MATERIAL FROM THE JOBSITE AT THE END OF A PROJECT IN AN APPROVED MANNER, AND AS DIRECTED BY BUILDING MANAGEMENT / LANDLORD / PEET'S.
- E. CONTRACTOR TO ERECT BARRICADE AND TEMPORARY LIGHTING IF REQUIRED TO MAINTAIN EGRESS PATH OF TRAVEL. DO NOT BLOCK REQUIRED EXIT.
- F. REMOVE ABANDONED OR OBSOLETE MISC ITEMS, STEEL HANGERS & SUPPORTS THROUGHOUT SPACE, INCLUDING ABOVE CEILING.
- G. REMOVE SWITCHES, CONTROLS, ETC. THAT ARE TO BE DISCONNECTED.
- H. PROTECT EXISTING FIREPROOFING. REPLACE MISSING OR DAMAGED FIREPROOFING
- I. WHERE DEMOLITION ABUTS EXISTING MATERIAL TO REMAIN, CONTRACTOR SHALL PATCH ANY DAMAGES TO MATCH EXISTING ADJACENT SURFACES.
- J. COORDINATE / DEMO PLUMBING LINES IN PREPARATION FOR NEW PLUMBING WORK. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- K. REMOVE ASSOCIATED DOORS, WINDOWS, AND ELECTRICAL TEL-DATA WHEN REMOVING INTERIOR PARTITIONS.
- L. CONTRACTOR TO REMOVE ALL CAPPED AND ABANDONED SWITCHES AND RECEPTACLES. REMOVE ANY HIDDEN INFRASTRUCTURE BY PLATES BACK TO SOURCE AND PATCH DRYWALL TO MATCH EXISTING DRYWALL CONDITION.
- M. WHERE RECEPTACLES OR SWITCHES ARE TO BE REMOVED OR RELOCATED, ABANDONMENT AND CAP PLATES ARE NOT ACCEPTABLE. REMOVE ALL INFRASTRUCTURE BACK TO SOURCE AND PATCH DRYWALL TO MATCH EXISTING DRYWALL CONDITION.
- N. REMOVE ALL TYP. FIXTURES / CONTROLS SUCH AS THERMOSTAT CONTROLS, EMERGENCY EGRESS SIGNAGE, HVAC CEILING DEVICES, ETC THAT ARE YELLOWED / AGED.
- O. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- P. IF DURING DEMOLITION, CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOR FOLLOWING DEIGN INTENT, THE ASSIGNED GENERAL CONTRACTOR TO NOTIFY PEET'S DESIGN PROJECT MANAGER AND CONSTRUCTION MANAGER IMMEDIATELY.
- Q. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE IF ANY ASBESTOS OR OTHER HAZARDOUS MATERIAL ARE DISCOVERED DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER/LANDLORD FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
- R. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY DAMAGES CAUSED BY EXISTING WATER LEAKAGES AND MOLDS IF ANY.
- S. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- T. PATCH & REPAIR FLOORS/ FLOOR SLAB AS REQUIRED AFTER REMOVAL OF ANY TEMPORARY WALLS/BARRICADES REQUIRED FOR PHASED CONSTRUCTION.

SHEET NOTES

NOTE: PLAN IS A REPRESENTATION OF ESTIMATED WORK TO BE PERFORMED. ADDITIONAL DEMOLITION WORK MAY BE NECESSARY IN ORDER TO CARRY OUT THE WORK DELINEATED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHOULD REVIEW THE CONTRACT DOCUMENTS IN THEIR ENTIRETY AND VISIT THE SITE TO DEVELOP A FULL UNDERSTANDING OF WORK TO BE DONE PRIOR TO ISSUANCE OF THEIR BID.

8/8/2017 4:37:04 PM C:\prow\51813_212_Lakeshore_Oakland_CAB\B1D_212_Lakeshore_Oakland_CA_2015.christian_170808.rvt

IF THERE ARE ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS, GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF RECORD OR PEET'S DESIGN MANAGER FOR CLARIFICATION.



1400 PARK AVENUE
EMERYVILLE, CA 94608
510.594.2100

ARCHITECT

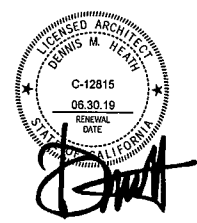
MBH 950 Atlantic Avenue
Alameda, CA 94501
510.855.8663
mbharch.com

DRAWN BY: XX

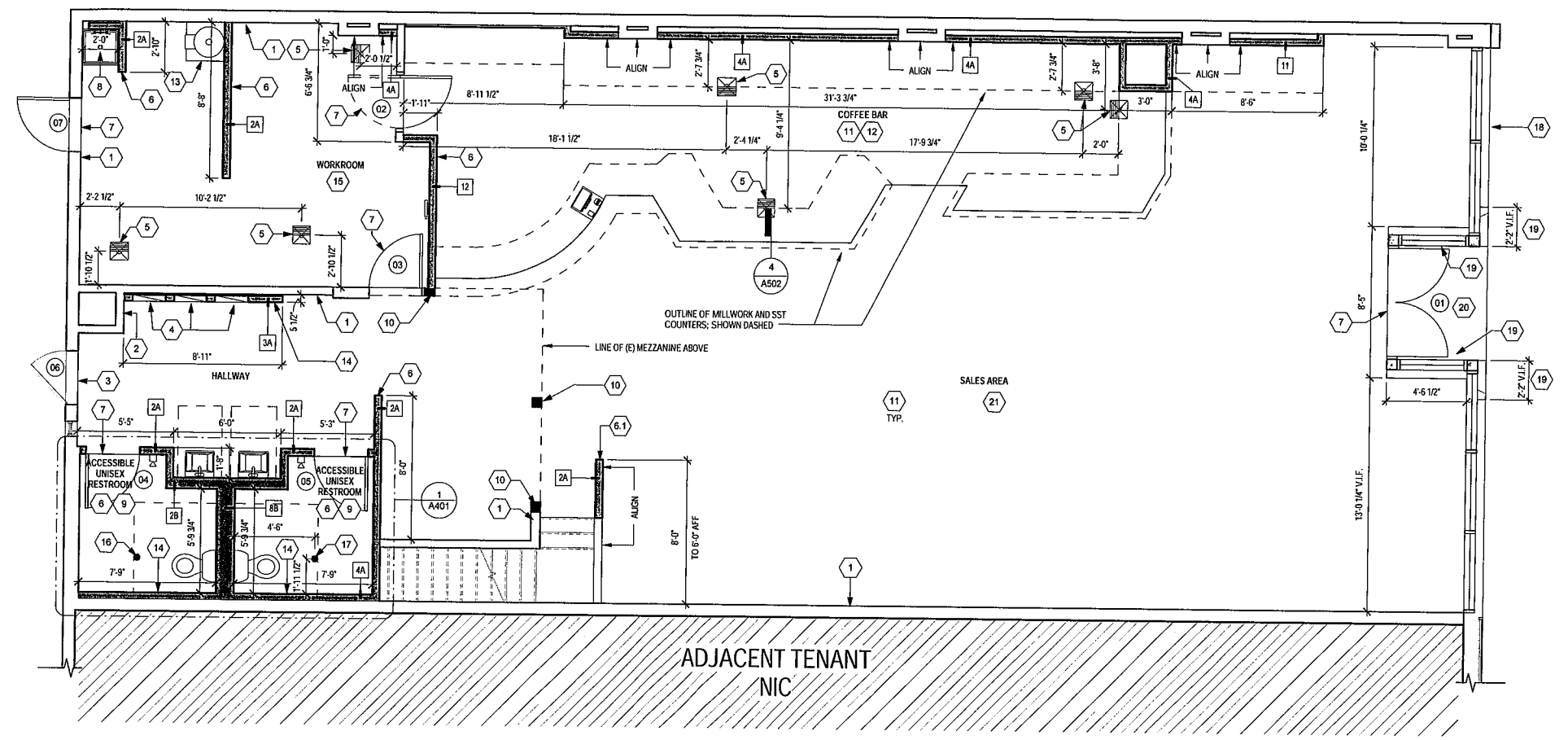
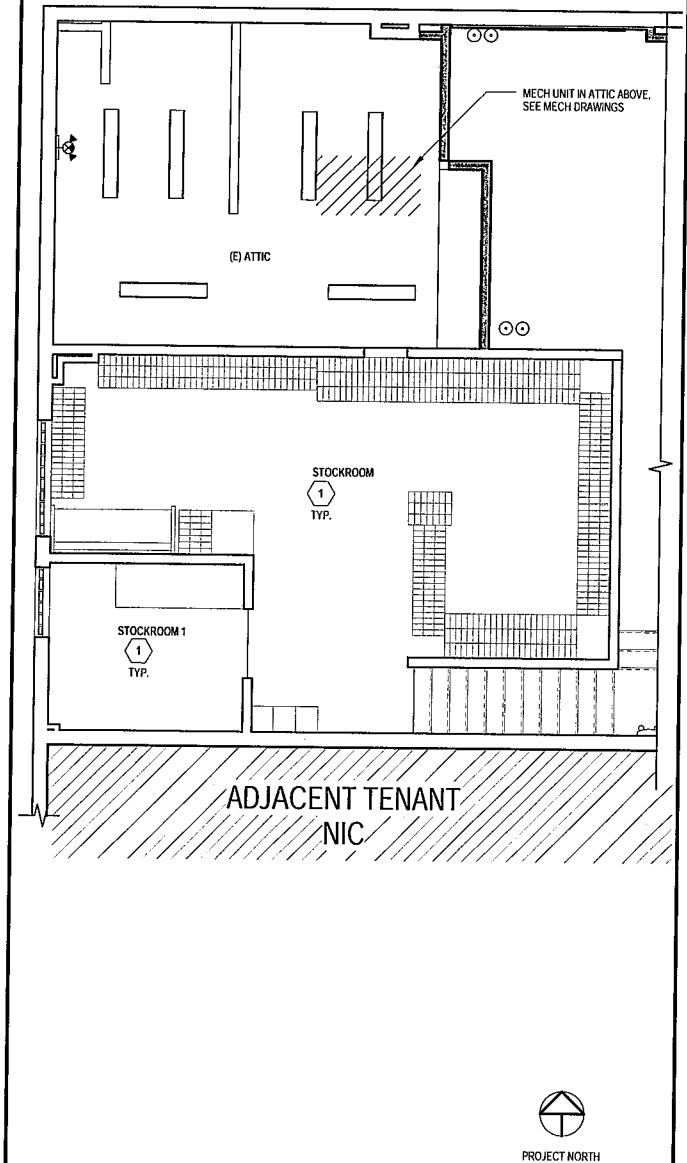
REVIEWED BY: XX

AOR PROJECT #: 51813

SEAL



CONSULTANT



MEZZANINE - FLOOR PLAN 1/4" = 1'-0" 2

FIRST FLOOR - FLOOR PLAN 1/4" = 1'-0" 1

- 1 EXISTING WALLS TO REMAIN, U.O.N.
- 2 EXISTING ELECTRIC METER TO REMAIN
- 3 EXISTING DOOR TO REMAIN
- 4 NEW ELECTRICAL PANELS
- 5 NEW FLOOR DRAIN / FLOOR SINK TO BE INSTALLED
- 6 NEW PARTITION
- 6.1 NEW PARTIAL HEIGHT WALL
- 7 NEW DOOR TO BE INSTALLED.
- 8 NEW MOP SINK. SEE PLUMBING DRAWINGS FOR DETAILS.
- 9 NEW RESTROOM FIXTURES TO BE INSTALLED. SEE A401 FOR DETAILS
- 10 NEW COLUMN. SEE STRUC DRAWINGS.
- 11 ANCHOR ALL CASEWORK TO FLOOR COORDINATE WITH PEET'S VENDOR
- 12 ANCHOR ALL STAINLESS STEEL CABINETS TO METAL STUDS. PROVIDE BLOCKING.
- 13 2'-2"W X 2'-2"D X 6"H CONCRETE PAD FOR WATER HEATER. VERIFY AND COORDINATE SIZE OF PAD TO FIT WATER HEATER FOOTPRINT.
- 14 NEW FURRING WALL
- 15 INSTALL 5/8" PLYWOOD BEHIND FRP BETWEEN STUDS AT ALL BOH WALLS
- 16 EXISTING FLOOR DRAIN TO REMAIN
- 17 NEW FLOOR DRAIN

- 18 (N) STOREFRONT GLAZING & FRAMING. SEE EXTERIOR ELEVATIONS
- 19 EXTENT OF (N) KNEW WALL. SEE EXTERIOR ELEVATIONS AND STRUC DRAWINGS.
- 20 (N) MODIFIED LANDING. SEE CIVIL DRAWINGS.
- 21 (E) SLAB TO BE MODIFIED. SEE STRUC DRAWINGS. SEE CIVIL DRAWINGS. SEE SLAB PLAN ON A101.1.

SYMBOL	DESCRIPTION
	EXISTING PARTITION TO REMAIN
	NEW PARTITION
	EXISTING ELEMENT TO REMAIN
	LEASE LINE
	EXISTING DOOR TO REMAIN
	NEW DOOR
	DOOR TAG. SEE SHEET A601 FOR DOOR SCHEDULE
	KEYNOTE
	WALL PARTITION TAG. SEE SHEET A602 FOR PARTITION DETAILS.
	TRENCH AND SLAB AS REQUIRED FOR UNDERGROUND PLUMBING. INFILL WITH CONCRETE. REBAR AND VAPOR BARRIER AS REQUIRED. COORDINATE WITH PLUMBING DRAWINGS
	NOT IN CONTRACT

- A. WORK TO BE NEW U.O.N.
- B. SEE RESPONSIBILITY SCHEDULE FOR DIVISION OF LABOR.
- C. WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- D. GC IS RESPONSIBLE FOR MAINTAINING THE FIRE RATING INTEGRITY AT DEMISING AND FIRE RATED WALLS AS WELL AS AT THE FLOOR AND FLOOR/ROOF ASSEMBLY ABOVE. VERIFY APPLICABLE CONDITIONS IN FIELD.
- E. CONTRACTORS SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS THAT IMPACT WORK PRIOR TO START OF CONSTRUCTION.
- F. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/DESIGNER.
- G. DIMENSIONS ARE TO BE TO FINISHED FACE OF WALL. U.O.N. APPLIED MATERIALS ARE TO BE APPLIED AFTER THE FINISH DIMENSIONS HAVE BEEN CONFIRMED.
- H. SEE ENLARGED PLANS FOR DIMENSIONS WHICH ARE NOT SHOWN ON CONSTRUCTION PLAN.
- I. DRAWINGS ARE NOT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING WRITTEN DIMENSIONS WITH THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION.
- J. NOTIFY ARCHITECT OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR AISLE WIDTH CANNOT MEET THE MINIMUM REQUIREMENT.
- K. MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT DIMENSIONS INDICATED AS ABOVE FINISH FLOOR ARE AT THE SAME ELEVATION. NOTIFY THE ARCHITECT / PEET'S DM FOR ANY GRADING DISCREPANCIES ON SITE.
- L. GC TO VERIFY THAT EXISTING DEMISING WALLS ARE PLUMB. IF NOT, GC TO PROVIDE AND INSTALL FURRING AND GWB TO MAKE PLUMB.
- M. GC IS RESPONSIBLE FOR COORDINATING LAYOUT ISSUES WITH THE MILLWORKER TO ESTABLISH MILLWORK LAYOUTS. GC TO COORDINATE MILLWORK SUBMITTALS.
- N. GC SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, MILLWORKER, OWNER AND OWNER'S CONTRACTORS UPON REQUEST.
- O. GC RESPONSIBLE FOR PREPARATION WORK REQUIRED TO INSTALL NEW FLOORING TO MANUFACTURER'S SPECIFICATIONS.
- P. GC TO COORDINATE WITH OWNER'S VENDORS TO ALLOW FOR PROPER INSTALLATION OF OWNER SUPPLIED ITEMS. GC TO SCHEDULE DELIVERY / INSTALLATION DATES AT THE BEGINNING OF THE JOB TO GUARANTEE COMPLIANCE WITH CONSTRUCTION SCHEDULE.
- Q. REFER TO SHEET A601 FOR DOOR AND HARDWARE SCHEDULE.
- R. TEMPERED GLASS TO BE USED IN LOCATIONS AS REQUIRED BY CODE.
- S. BLOCKING TO BE FIRE RETARDANT. COORDINATE WITH FIXTURE CONTRACTOR FOR FIXTURE BLOCKING REQUIREMENTS.
- T. GC IS RESPONSIBLE FOR THE INSTALLATION OF FRP PLYWOOD BACKING ON WALLS FOR THE MOUNTING OF EQUIPMENT (E - TELE/ELEC PANELS). REFER TO ENLARGED ELEVATION ELEVATIONS AND ENGINEERING DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- U. ALIGN CENTERLINES OF FIRE EXTINGUISHERS AND MEP/FP DEVICES ON WALLS IN THE SAME LOCATION.
- V. PROVIDE FIRE EXTINGUISHERS IN QUANTITIES AND LOCATIONS AS REQUIRED BY CODE AND AUTHORITY HAVING JURISDICTION. REVIEW ADDITIONAL OR ALTERED LOCATIONS WITH THE ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- W. COLUMN LABELS ARE USED FOR INFORMATIONAL PURPOSES ONLY AND MAY DIFFER FROM ORIGINAL BASE BUILDING DRAWINGS.
- X. PATCH AND PAINT ALL EXISTING WALLS AND CEILING IN AREA OF WORK. TYP.
- Y. CONSTRUCTION PLAN IS FOR DESIGN INTENT ONLY. REFER TO SHOP DRAWINGS AND CONSULT WITH OWNER FOR LOCATION OF FINISHES NOT DIMENSIONED ON PLAN.
- Z. GC TO PROVIDE WATERPROOF MEMBRANE AT ALL WET AREAS.
- AA. DOORS TO BE INSTALLED BY FROM WALL U.O.N.
- AB. GC TO PROTECT ALL FINISHES AT ALL TIMES.
- AC. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- AD. ALL OUTLET AND SWITCH PLATE COVERS TO BE "BLACK" IN CUSTOMER AREA NEXT TO DARK CHAIR RAIL | "STAINLESS STEEL" FOR COFFEE BAR/BACK BAR AND RESTROOM | "WHITE" FOR BOH / FRP
- AE. ALL BARRICADES ARE TO BE REMOVED ONCE WORK IN THE AREA IS COMPLETE.
- AF. PROVIDE BLOCKING FOR UPPER WIRE SHELVES IN BOH.

KEYNOTES

SYMBOLS

SHEET NOTES

PROJECT ADDRESS

3258 LAKESHORE AVE.,
OAKLAND CA 94610

STORE NUMBER

212

ISSUED DATES

NO. DATE: DESCRIPTION:
2017-08-03 LU/PERMIT SET

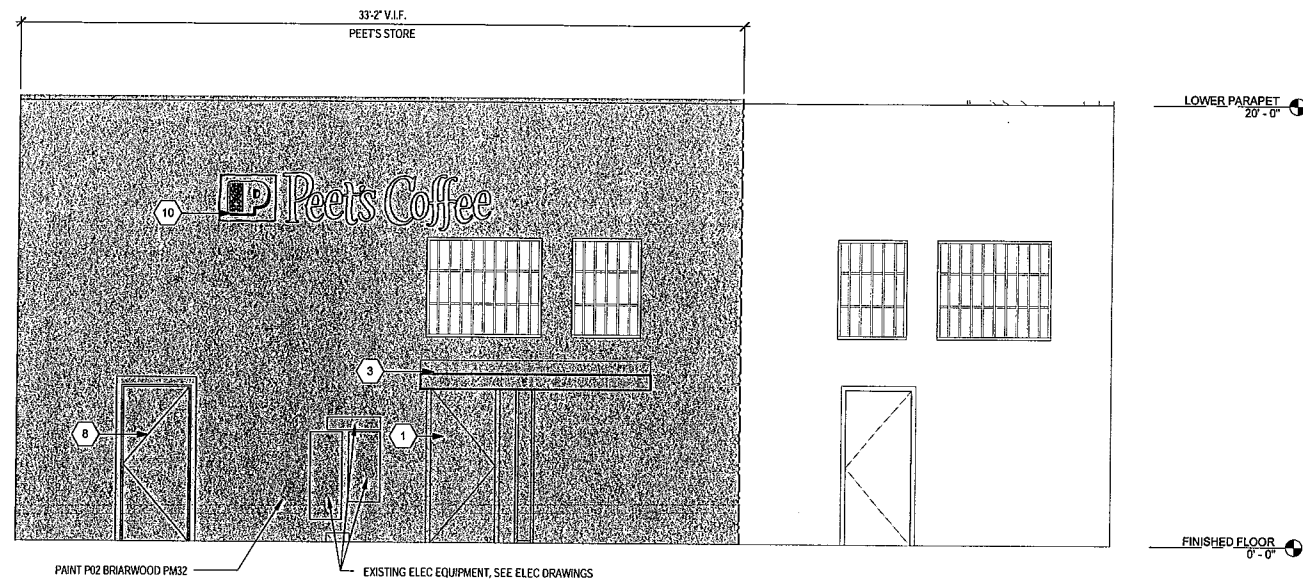
DRAWING DESCRIPTION:

FLOOR PLAN

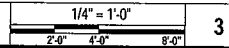
SHEET NUMBER:

A101

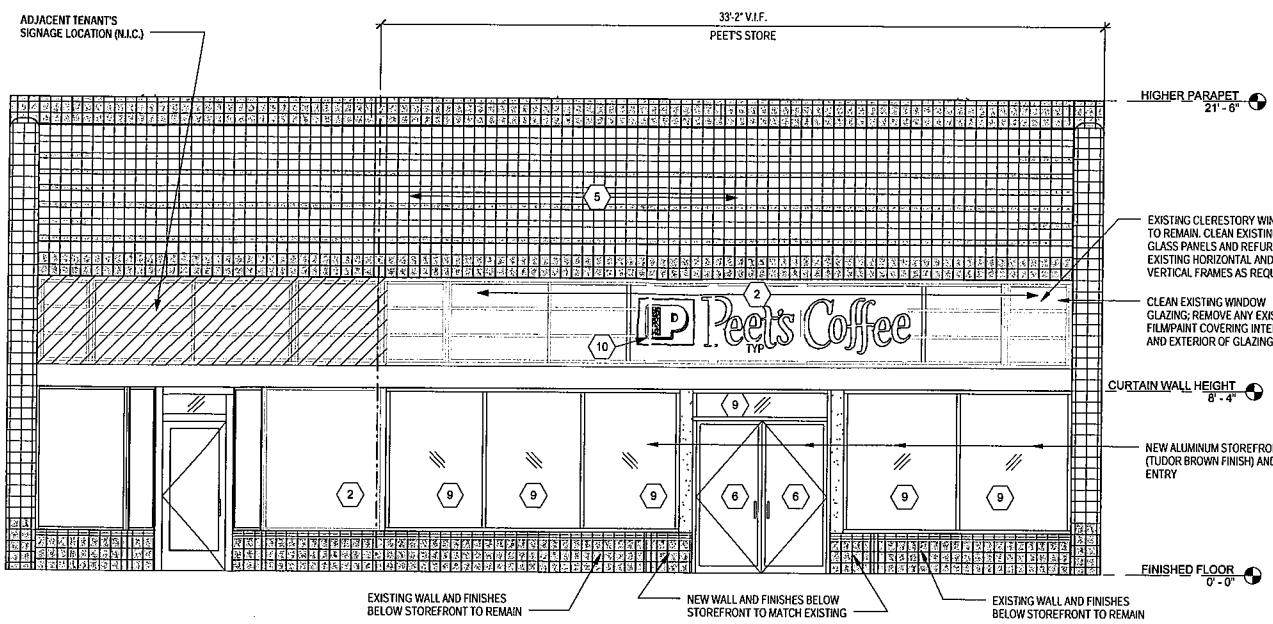
C:\prow\51813_212_Lakeshore_Oakland_CA_R015.dwg 17/08/2017 4:38:57 PM



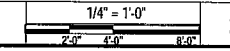
EXTERIOR ELEVATION AT BACK ENTRANCE



3



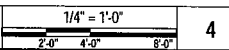
EXTERIOR ELEVATION AT MAIN ENTRANCE



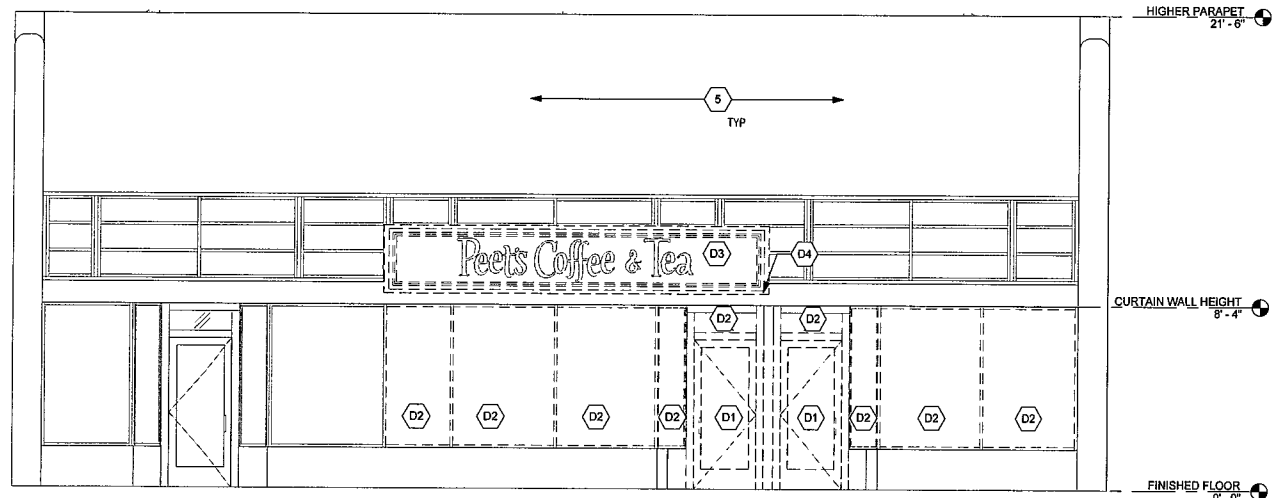
2



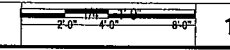
EXTERIOR ELEVATION AT BACK ENTRANCE DEMOLITION



4



EXTERIOR ELEVATION AT FRONT ENTRANCE (DEMOLITION)



1

- 1 EXISTING DOOR TO REMAIN. PAINT, PATCH AND REPAIR DOOR, DOOR FRAME, DOOR HARDWARE AND THRESHOLD AS REQUIRED.
- 2 EXISTING STOREFRONT/WINDOW TO REMAIN, U.O.N.
- 3 EXISTING AWNING TO REMAIN.
- 4 EXISTING SIGNAGE TO REMAIN
- 5 EXISTING EXTERIOR FINISHES TO REMAIN, U.O.N.
- 6 NEW STOREFRONT DOORS
- 7 NEW GRAPHICS ON STOREFRONT PANEL. COORDINATE WITH PEET'S.
- 8 PAINT NEW DOOR, DOOR FRAME, DOOR HARDWARE AND THRESHOLD TO MATCH ADJACENT DOOR
- 9 NEW STOREFRONT FRAME AND GLAZING
- 10 NEW SIGNAGE UNDER SEPARATE SUBMITTAL BY SIGNAGE VENDOR.

- D1 DEMO EXISTING STOREFRONT DOORS.
- D2 DEMO EXISTING STOREFRONT GLAZING/WINDOWS. PREPARE FOR NEW STOREFRONT GLAZING/WINDOWS.
- D3 DEMO EXISTING SIGNAGE. PATCH AND REPAIR FINISHES. PREP FOR NEW SIGNAGE.
- D4 DEMO EXISTING CANOPY.

KEYNOTES

- A. SEE FINISH PLAN, SCHEDULE AND NOTES ON SHEET A103 FOR ADDITIONAL INFORMATION
 - B. SEE FIXTURE PLAN, SCHEDULE AND NOTES ON SHEET A104 FOR ADDITIONAL INFORMATION
 - C. ALL EXTERIOR SIGNAGES WILL BE DEFERRED SUBMITTAL BY SIGNAGE VENDOR.
 - D. GC will need to install the static cling and paint the area behind it to fill entire glazing panel, as shown, with the following paint spec.
 DBox Inc - Glass Masking Paint - Mirror Black; 2 coats; no substitutions
<http://dboxinc.com/glass-masking-paint/>
 *NOTE: Per manufacturer, one 3.5 gallon bucket can paint 1,800 sq. ft of surface area with 2 coats using one 3.5 gallon bucket.
 GC to order the correct number of buckets prior to CSD.
- Responsibility**
 Glass Masking Paint - GCGC
 Static Cling Window Graphics - OIGC
- Timeline**
 Install within 3 days of CSD / before demolition.
 Removed day before RTO.

SHEET NOTES

IF THERE ARE ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS, GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF RECORD OR PEET'S DESIGN MANAGER FOR CLARIFICATION.

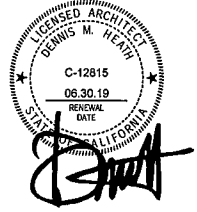


1400 PARK AVENUE
EMERYVILLE, CA 94608
510.594.2100

ARCHITECT



DRAWN BY: XX
 REVIEWED BY: XX
 AOR PROJECT #: 51813
 SEAL



CONSULTANT

PROJECT ADDRESS
**3258 LAKESHORE AVE.,
 OAKLAND CA 94610**

STORE NUMBER
212

ISSUED DATES
 NO. DATE: DESCRIPTION:
 2017-08-03 LL/PERMIT SET

DRAWING DESCRIPTION:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A301

C:\Reviews\1811_212_Lakeshore_Oakland_CA\1813_212_Lakeshore_Oakland_CA_2018 - charles_170808.rvt 8/2/2017 7:45:58 AM